



4 Seasons Home Inspection, LLC

150 Maple Avenue, #128, South Plainfield, NJ 07080

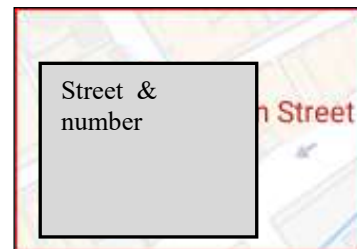
www.4SeasonsHI.com 1-877-547-7383

Mr. Buyer
Bergen Cty, NJ

Please carefully read the following inspection report in its entirety and the Scope of Inspection. The inspection was a visual inspection and performed accordingly to the New Jersey Standards of Practice 13:40-15.16 in readily accessible areas at time of inspection. Inspection behind walls, ceilings, flooring or other covered surfaces is excluded from a visual home inspection. That would involve destructive measures to see behind them. A copy was emailed to you if email is available and enclosed with your hard copies for your review if paper copy requested. The home inspection report and any other applicable reports (radon, wood destroying insects) are emailed to you, your attorney or realtor if indicated by initialing appropriate areas on last page of Pre-inspection agreement. If a hard copy was ordered on the last page of your agreement, then and only then will a hard copy be mailed via USPS. Please read all addenda and supplementary attachments. Pursuant to 13:40-15.2 Definitions "Home inspection report," all items in report must not be ignored where recommendations made regarding the need to repair, replace or monitor a system or component or to obtain examination or evaluation and analysis by a qualified professional, tradesman or service technician. Please call us with any questions or concerns that you may have so that they may be promptly answered before your closing. If recommendations not acted upon or followed up with sellers before closing, it will be solely your responsibility for repairs and costs incurred by not following report recommendations.

RECEIPT

Inspection Date: May 02, 2018 Wednesday 12pm- 5pm
Client Name: Bob Buyer (Buyer@hotmail.com)
Emails: lawyer@lawfirm.com
Inspection Address: # street, town, NJ xxxxx
Inspected by: Linda Geczi home inspection lic. #24GI00061500



BUILDING DATA

Approximate Age: ~118 yrs.
Style: Mixed Use-
2nd FL Apt. & retail store front
Main Entrance Faces: N
State of Occupancy: Vacant
Weather Conditions: 70 °F
Ground cover: damp

Home Inspection:	\$----.00
Termite:	INCL.
Radon	\$----.00
Total:	\$ ----.00

Paid by: check # #1306

Cc: Lawyer, Esq.

Main Concerns (p.2-4) and detailed report follows this page (5-49)

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Recommend qualified state registered contractors or licensed professionals further evaluate, address material defects/deficiencies and/or make repairs and inspect inaccessible areas **before closing and contractual limitations** or obligations.¹ The items in the report are **“Recommendations”** and it is up to the buyer and seller to discuss these and is **not a mandate or a code inspection**. Responsibilities of repairs, negotiations, appraisals, obtaining all closed permits for work done to home, property survey/boarders, mortgages, costs of repairs/estimates, advise on purchase, etc. **are not** part of a home inspection and should be discussed with your **Attorney**. Refer to Standards of Practice 13:40-15.16 and Pre-Inspection Agreement 13:40.15.15. **READ entire REPORT and recommendations.****

- 1. STRUCTURE/SIDING/EXTERIOR CLADDING/WINDOWS:** There were at least two layers of siding or cladding was visible; vinyl over asbestos like shingles. The vinyl siding and broken asbestos like siding was in contact or buried in soil. Asbestos siding was detached or broken sections along the lower siding. Asbestos siding should be evaluated by an asbestos contractor and advise on containment or removal since several areas where loose and on ground. Asbestos or other environmental substances should always be evaluated by a qualified contractor; beyond the scope of a general home inspection. Siding was not straight or plumb lines, detached/loose, in contact with soil or ground, trim/flashings/capping/wrapping was incomplete or improperly installed. The exterior siding/cladding/trim was not installed professionally and therefore gaps or openings and unfinished trim is open for water entry. Recommend determining any concealed water/wood destroying insect or mold like damage or rule out damage since water can enter behind the siding or exterior. There were no gutters and water dripping or allowed to run down siding or exterior. The walls of the building were bulged on left and right sides (bottom and upper sections). There were wide window sills in the main section of home (smaller rear section was added or an addition); indication of possible stone walls. There were sloped floors in home and bounce, movement or vibration when walking on the second floor apartment. The bulged walls and wavy/depressions/substandard roof construction are structural concerns or deficiencies/defects. There were two visible lally columns in the store front, an open room, a rear addition and structure concealed in ceiling or walls. Typically, lally columns need to be spaced no more than 8ft apart and or load bearing walls present; further evaluate all columns or support walls. Recommend a structural engineer (PE) and a building contractor evaluate the building's structure (bulged walls, roof structure, sloped flooring & canted walls, columns/lally(s)/support walls, etc.) and advise on all structural repairs or mitigation. The siding/trim/capping/wrapping or exterior should be corrected along with the roof & roof structure when structural repairs made as per the engineer (PE) and building contractor. The slab foundation was not visible or accessible due to siding to soil and flooring in the store; further evaluate when made accessible. Refer to separate NPMA-33 Wood destroying insect report; swarmer wings and body part observed in the store. Use caution when small children present in the 2nd floor apartment. Screen will not hold a child back in the event they climb by an open window and against a screen. Use plastic safety clips on window to restrict the opening.
- 2. TERMITE:** There were swarmer wings and bodies observed in the store in the white slop sink and floor by trap. Recommend a licensed Pest Company treat for termite. See separate NPMA-33 Wood destroying report. Grading & drainage should be corrected, improved or addressed to avoid water seepage and attracting wood destroying insects.

3. **ROOF & STRUCTURE/INSULATION & VENTILATION /GUTTERS:** The roof had structural concerns, substandard construction/ deficiencies and past its life. The rafters 24" OC & no sheathing where cedar shingles under asphalt shingles (multi-layer), poor ventilation, little to no insulation and no gutters for drainage and asphalt shingles past expected life. Water was spilling onto ground below and close to the slab foundation; inadequate roof drainage. Recommend a structural engineer (PE), qualified roofer and/or building contractor evaluate & advise on roof structure/repairs, roof shingle replacement/tear off, insulation & ventilation and gutters.
4. **FURNACE/DUCTS®ISTERS/RETURNS/OIL TANK/COOLING :**
(see heating section for more details)

Recommend a property tank sweep to rule out any possibility of buried oil tank before closing and contractual limitations. The building currently has one old heating unit with oil fuel storage tank outside behind the building. The tank was rusted, partial insulation on oil line(s) and not well maintained. It is always recommended to have the interior of tank inspected for rust, corrosion and pressure tested for leaks. Recommend the HVAC contractor evaluate design of registers/returns to store & apartment, advise on correcting installations, add registers/returns/grilles and insulation (ducts & attic floor) where needed for adequate heating for the entire building and replacement of furnace. It is important to have the attic floor insulated and properly ventilated to conserve when heating or if future central cooling installed. There was partial insulation over the rear addition where roof had tongue and groove sheathing. Some insulation in that attic area was missing and improperly installed (paper backing should be down toward the living space). The oil fired furnace was very old, poor condition and past expected life. There was a gas service pipe on the right side in alley. Recommend a qualified HVAC design contractor evaluate the mechanical area and advise on options to have access from a vented door in hallway, free up space with an on demand water heater. There were through wall A/C units in the building. Discuss cooling options with the HVAC contractor such a central A/C and or wall mounted ductless units for the best heating and cooling energy options.

5. **PLUMBING:** There was a sewer vent pipe on right side; no screen or vented cover; have evaluated for a vented cover. There was inadequate clearance around the water meter & shutoff and bathroom door; vanity and slop sink obstructions. The store had abandoned plumbing, capped drains(rubber), sink(s) removed, two sinks in rear & some fixtures not working or functioning, open drain piping (filled with water on floor with covered lateral pipe) and a trap/pit/cavity with rusted or corroded cover/ledge near PVC drain by the furnace room in store. The plumbing in building was a mix of ages and types as well as non-professional or handyman installations. There were S-traps, improperly pitched drains, old fixtures, broken or missing valve handles, handyman installations, poor drainage (apartment), calcium/mineral deposits, erratic flow, etc. Recommend a licensed plumber and/or building contractor clean up abandoned piping, corroded plumbing (piping, fittings, fixtures, etc.) and advise on the trap or pit use and function. Discuss the next business intentions and needs with the plumber and building contractor to address all current plumbing repairs or future needs for the building. Recommend following up with the contractor to discuss all plumbing and bathrooms upgrades and/or repairs to suit apartment and business needs.

6. **ELECTRICAL:** This building had two main panels; one for the store (200A) and one for the apartment (100A). The store panel had no spares inside and several twins added to take up half the space and allow for two circuits in the space of a regular size breaker. The apartment had too few breakers in use and several spares available. Tripping breakers can often occur when too many devices on one circuit and potential to overload. Separating devices and adding more circuit breakers should be done especially when installing GFCI in bathrooms for hair dryers or blow dryers. Each family and business has different electrical requirements or needs. Recommend reviewing all electrical needs current and near future requirements. There were no outlets in bathrooms and no GFCI outlets in kitchen on 2nd floor. There were surface mounted outlets that protrude and take up space or not ideal. The building was ~120 yrs. old, plaster walls visible on second floor and potential for concealed knob & tube 1920's wiring. If this wiring exists, recommend upgrading to newer wiring with a ground. There was a scorched outlet in the store; indicative of overload (fire hazard). It is always best when recessing outlets, switches, ceiling lighting, etc. when possible and allow for more head room or flush with wall. GFCI tamper resistant outlets should be installed with upgrades especially when small children present or the public. Discuss other safety electrical features for the building with the electrician for example lighting over stairs and in bathrooms with auto sensed feature (on-auto-off), illuminated "Exit" signs with battery back-ups, hard wired Co & smoke detectors, etc. Also exit doors should be equipped with self-closure hinges for extra fire safety measures; check with the local rules and ordinances for all requirements and added safety measures. If the boro has had extended power outages in the past with the everchanging weather, hurricanes, high winds, etc., consider a generator back up for the business and or apartment. Every business has it particular needs for lighting (functional & mood or ddecor), equipment, modems & communications, power packs/batteries, etc. Discuss electrical outlets (duplex, quads or 6+ receptacles), USB ports, charging stations (battery power packs), etc. and locations. Both the store and apartment need upgrades; loose outlets, missing covers, too few, loose cables/wires (attic), handyman installations, scorched outlet (store), etc. Scorched outlets are often indicative of an overloaded circuit and often can occur when portable heaters are used (See heating section comments). There was one heat register visible in the store front room; inadequate. Recommend a licensed residential & commercial electrician evaluate & advise on all electrical safety, needs and business requirements.

¹ **Pursuant to NJAC 13:40-15.2 Definitions:**

"Material defect" means a condition, or a functional aspect, of a structural component or system that is readily ascertainable during a home inspection that substantially affects the **value, habitability, or safety of the dwelling**, but does not include decorative, stylistic, cosmetic, or aesthetic aspects of the system, structure or component.

**** Any and All recommendations noted in this report either written or verbal, advised either further evaluation, repair and/or replacement should be completed prior to the home inspection contingency expiring and/or any other contractual obligation expires.****

SUMMARY

Repairs are recommended for any comments or defects that are stated in this report. Every home must be regularly maintained and will require repairs. Problems will occur and things will break. This report is designed to help reduce the possibility, but will not eliminate them from happening. Issues can and will arise at any time. Budget accordingly to maintain the home. Recommend checking with local authorities/townships/city/Boro/county/state for required & closed permits on additions and alterations before closing & contractual obligations. ***Please be advised that it is important to read the entire report and the remarks pages that are sent separately to the client. These remarks pages contain important maintenance information that the client needs to be aware of.*** All homes will need repairs, routine maintenance and upgrades over the course of its life. Addressing plumbing, heating, electrical, grading & drainage, roof/gutters and other mechanical problems or issues as they occur, with qualified registered contractors and/or licensed professionals, should be done to keep home maintained properly. Older homes will often require structural upgrades when renovations are made. These will be dictated by the engineer and or architect designing the renovation or modification to bring structure up to current building practices and township specifications and as per the local, county or state building codes. A home inspection is **NOT** a code inspection. It is recommended to obtain all closed township permits for history of home before closing & contractual limitations. Recommend a "Home Warranty" or maintenance service; check with the realtor, lawyer or insurance companies in the service areas to help cover costs of repairs, replacements and schedule service/maintenance on all systems in the home. Roof leaks are number one cause of water damage to interior of home. Damage can often be concealed inside walls of interior and often revealed either when renovations are done or when water issue is ongoing for a period of time. Water damage can include structural as well as environmental manifestations such as mold and mildew among others. All roofs should be inspected yearly, gutters cleaned several times a year. These systems must be maintained, repaired or replaced as per the tradesman, contractor or professional to provide a water tight cladding to protect the home. Often a damage found does not necessarily correspond to the roof directly above, but at some other part of the roof. Water can travel below the surfaces of roof and end up in any number of places that are hidden or concealed. Roof penetrations, plumbing vents, skylights, chimneys, etc. must be checked yearly for leaks. A general visual home inspection cannot open up walls, ceilings, flooring or guess what is behind them. This uncertainty is always possible when roof, flashing, siding and all exterior systems are not maintained.

"If there is anything in the report that you do not understand you must contact us promptly prior to closing. If not addressed, any ignored item(s), misunderstood or overlooked as to their importance and implication(s,) can and frequently do, result in negative outcome and incur costs to repair or replace." Please read **REMARKS addendum** as it is part of the report and contains important information. Any areas reported as inaccessible and not inspected or evaluated must be made accessible and inspected prior to the closing.

All items must be addressed and repaired prior to closing & contractual limitations.

Recommend qualified registered contractors or licensed professionals further evaluate, address defects and/or make repairs before closing and contractual limitations or obligations. Responsibilities of repairs, negotiations, appraisals, property survey/boards, mortgages, costs of repairs/estimates, advise on purchase, etc. are not part of a home inspection and should be discussed with your Attorney. Refer to Standards of Practice 13:40-15.16 and Pre-Inspection Agreement 13:40.15.15 that were sent out/emailed immediately when the inspection was booked/scheduled to see the scope of inspection, what is covered, not covered and limitations, obstructions, inaccessible areas, etc. Homes cannot be damaged or coverings removed (walls, ceilings, carpeting, flooring, etc.), storage, personal items, furniture, etc. manipulated in a visual non-invasive home inspection.

READ entire REPORT and recommendations by following up with the licensed professionals & state registered contractors for further evaluations, seller's permission for more technically exhaustive/invasive evaluations, repairs and/or replacements where concerns, defects, deficiencies or concerns reported immediately before taking ownership and closing.

* Items listed in this report may inadvertently have been left off the Summary Sheet. Customer should read the entire report, including the Remarks. Boxed area may have been checked or unchecked inadvertently- written comments are most important and purposely written into report, which may not reflect boxed area checked. Call with any questions you may have before closing and contractual limitations. **Note that corrections, additions or amendments to report may be made after initial report if deemed necessary by the inspector and sent to you, your lawyer or realtor as indicated on the Pre-inspection agreement.**

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REPORT OVERVIEW

THE HOUSE IN PERSPECTIVE

CONVENTIONS USED IN THIS REPORT- ALL SYSTEMS IN HOME MUST BE SERVICED YEARLY AND PROPERLY MAINTAINED AND UPGRADED AS THEY AGE

SATISFACTORY* - Indicates the component is functionally consistent with its original purpose but show signs of normal wear and tear and deterioration and will need maintenance or repairs at any time over its life. Plan and budget for these repairs, replacement and upgrades. Have systems must be serviced regularly and maintained and check the manufacturer's limited warranty and if transferrable.

MARGINAL * - Indicates the component needs repairs, upgrade, monitor and/or replacement anytime over its life. Plan and budget for these repairs, replacement and upgrades. Defects exist- have evaluated and repaired.

POOR* - Indicates the component needs repair or replacement now. Defects exist- have evaluated and repaired.

SAFETY HAZARD* - Denotes a condition that is unsafe and in need of prompt immediate attention now. Defects or deficiencies exist that pose a danger or unsafe condition.

***NOTE:** All observations or comments reported in this written report should obtain examination and analysis by a qualified professional, tradesman or service technician for that concern, defect or repair prior to closing for cost of repairs, replacement or upgrade.

THE SCOPE OF THE INSPECTION (READ & UNDERSTAND)

All components designated for inspection in the **New Jersey Standards of Practice 13:40-15.16 in readily accessible areas at time of inspection** except as may be noted in the "Limitations of Inspection" sections within this report. It is the goal of the inspection to put a home buyer in a better position to make a buying decision. This inspection should not be considered as an opinion or as advice as whether or not to purchase the property. Not all recommendations will be identified during this inspection. It is not our job or function to fix or solve a problem. We report on the conditions at time of inspection and recommend a specialist to further evaluate and advise on cost of repairs or remedy. Home inspectors are "Generalists" not experts or builders. A home inspection is not a CODE inspection. ****A certificate of occupancy or habitability should be obtained before closing. Township code officers perform code inspections for that certificate; not home inspectors.*** Code issues may arise that need corrections that are not part of a general home inspection and should be addressed before closing. Unexpected repairs as well as maintenance should still be anticipated. All systems and building structure will age and need repairs regardless of the age of home. Plan and budget accordingly. The inspection is not considered a guarantee or warranty of any kind. It is a snap shot in time and conditions will change with time. A "Home Warranty" is readily available from most realtor offices or on the market to help defray the cost of repairs during the life of a home. We strongly recommend this and all other forms of service plans for HVAC and insurance on sewer and water main lines.

In addition to the NJ standards, please refer to the pre-inspection agreement/contract according to NJAC 13:40-15.15, for a full explanation of the scope of the inspection. All reported items of consideration in this report must be addressed for repair evaluation and cost prior to closing. Any conditions concealed, latent, inaccessible or covered up at time of inspection are NOT the responsibility or liability of the home inspector or company. Walls, ceilings, carpeting, or other forms of coverings or finished surfaces cannot be removed during a non-invasive home inspection. Therefore, to see into walls and below surfaces can only be done with a contractor that can perform invasive inspections. We cannot guess or comment on anything behind coverings and report on non-visual or concealed areas. There is always a chance for concealed damage or mold or other structural concerns within walls, floors and ceilings. ***If you are not satisfied with a visual inspection, it is recommended to engage in those contractor or trades for invasive services that can open up walls, ceilings or flooring before closing since it cannot be done in a visual home inspection with permission from seller(s).*** This is under the law in the New Jersey Standards of Practice 13:40-15.16 for a licensed home inspector in the state of New Jersey.

We Always Miss Some Minor Things & cosmetics excluded- Read Pre-Inspection agreement

The intent of the inspection is not to find minor problems or cosmetic items. It is to find major problems or defects. The minor problems that are identified were discovered while looking for more significant problems. We may note them simply as a courtesy.

Not Insurance or Warranty & Not Code inspection

In conclusion, a home inspection is designed to better your odds. It is not designed to eliminate all risk. For that reason, a home inspection should not be considered an insurance policy or warranty. Concealed & inaccessible areas cannot be inspected and should follow up with a contractor.

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GROUNDS

SERVICE WALKS None *Public sidewalk needs repair*

Material: Concrete Flagstone Gravel Brick Other

Condition: Satisfactory Marginal *Trip Hazard- patio block in rear by door* *Settling cracks*

DRIVEWAY/PARKING None

PORCH (COVERED ENTRANCE) None

STOOPS/STEPS None *Uneven risers*

PATIO None

DECK/BALCONY (flat, floored, roofless area) None

DECK/PATIO/PORCH COVERS None *Earth to wood contact* *Moisture/Insect damage*

FENCE/WALL Not evaluated None

LANDSCAPING AFFECTING FOUNDATION (See remarks page)

Negative Grade: East West North South

water management measures recommended as well as further evaluation of the structure- see siding section “bulging walls, sloped flooring & bounce/vibrations, etc.)

Recommend a grading & drainage evaluate the drainage around the building- indication of flooding or water concerns (ex- several sand bags and open sand against the foundation)

Alley drains observed (PVC drainage piping & a manhole grate & drain) - not tested. Follow up with Clinton boro to see if they clean and maintain these drains and if these drains have mitigated water issues for this building or in general for the stores on this block

NOTE: *Sink holes and other Geological issues are NOT part of a general home inspection*

13:40-15.16 (f)1(v) Standards of practice

v. Vegetation, grading, drainage, and retaining walls with respect to their immediate detrimental effect on the condition of the residential building, excluding fences, geological and/or soil conditions, sea walls, break-walls, bulkheads and docks, or erosion control and earth stabilization;

RETAINING WALL None Material: *Drainage holes recommended*

HOSE BIBS None No anti-siphon valve

Operates: Yes No Not tested Not on

GENERAL COMMENTS

GROUNDS: The soil around the building was negative and or flat. There were several sand bags and sand pile against the slab foundation in the alley; indication of flood water measures. There was a PVC drainage tile in the alley on right and a manhole grate & drain at end near the rear door toward the parking lot on right behind a store. Follow up with Clinton boro to see if they clean & maintain the drainage system and if these drains have mitigated water issues for the stores on this block. Recommend further evaluation by a grading & drainage contractor to see if there are other measures or options to improve grading & drainage or water management measures around the building to maintain a dry structure. Slab construction is close to grade or soil and is vulnerable to seepage. Grading & drainage must be a priority to avoid water damage, structure damage and attracting wood destroying insects. There were concrete walks in front at street or public side. Do not use sodium based deicers on them in winter; will deteriorate masonry. Only use masonry safe deicers to avoid damage. There were some patio blocks in rear; have leveled for safety; trip hazard potential. Landscaping stones, mulch and vegetation are not recommended around foundation; tends to trap water against foundation and cause wet basements. Stones present with a drainage system is different or intentionally placed as part of drainage. Follow up to see if stones are intended as part of the piping and grate in the alley. There were no gutters on roof; water collecting in alleys and near the slab foundation. Recommend adding gutters with roof replacement and extend away from foundation for drainage. Gutters should be larger or ~ 6” open/uncovered for best water collection and extend at least 6-8 ft. away from building. Clogged gutters can cause leaking & damage to interior or where concealed in walls.

CONCERNS:

1. Follow up with Clinton boro to see if they clean & maintain the drainage system and if these drains have mitigated water issues for the stores on this block . Recommend further evaluation by a grading & drainage contractor to see if there are other measures or options to improve grading & drainage or water management measures around the building to maintain a dry structure. Slab construction is close to grade or soil and is vulnerable to seepage. Grading & drainage must be a priority to avoid water damage, structure damage and attracting wood destroying insects.



Figure 1 Follow up with Clinton boro to see if they maintain and service the drains in alley; not tested or accessible. There were several sand bags around the slab foundation and neighboring stores; indicative of flood measures.

ROOF

ROOF VISIBILITY All Partial None Limited by: Angle

INSPECTED FROM Roof Ladder at eaves Ground (*Inspection Limited*) With Binoculars

STYLE OF ROOF

Type: Gable Hip Mansard Shed Flat Other
Pitch: Low Medium Steep Flat

ROOF COVERING

Roof #1: Type: *Asphalt top layer over cedar shingles (older section of home)*
 Estimated Layers*: *2 (asphalt over cedar shingles- no sheathing or plywood); 1 layer at rear addition was a small section of roof or house and had a typical 1950's tongue & groove sheathing.*

Layers- only the visible layers; drip edges can conceal additional layers.*

NOTE: It is always recommended to obtain roofing information on brand and warranty due to current concerns with some GAF and other manufacturer's architectural roof shingles involved in a class action suit to err on side of caution. Often it cannot be determined by visual inspection. Age of roof is only an approximation. Installer's paperwork is only proof of age.

VENTILATION SYSTEM **Type:** Soffit Ridge Gable- very small/narrow/inadequate Roof
Appears Adequate: No Turbine Powered **More ventilation recommended & insulation**
 Discuss ridge vents and perforated soffits (if they can be fit in eaves), power venting, passive venting, etc. to maximize ventilation

(*See Interior remarks page*) (*See Attic section*)

Need more Ventilation to avoid mold-like substances, condensation/rusted nails/frost on sheathing & rafters, heat build-up, sheathing damage and shortening life of roof.

FLASHING **Material:** Galv/Alum Asphalt Not visible Rubber
VALLEYS Not visible N/A **Material:** Galv/Alum Asphalt Lead Copper

CONDITION OF ROOF COVERINGS **Roof #1:** Poor Recommend replacing roof & evaluate roof structure**

- Condition:**
- Curling Cracking Water stains in closet or interior of apartment
 - main section of roof had 2 layers & no sheathing- cedar shingles under asphalt shingles
 - rear section was an addition & had ~1x4" tongue & groove sheathing, drying cracks, pine sap, rusted nails/dark rings- poor ventilation
 - Wavy/depressions/24 OC rafters (main section)- recommend evaluation of roofing structure. Roof structure was substandard and had structural deficiencies
 - No collar ties or knee walls- rafter spread
 - Granules missing excess roof hanging over sheathing Widening keyways
 - No gutters Cupping weathered/dried/brittle Exposed felt/backing
 - Multi-layer roof-not recommended(asphalt over cedar shingles). Sheathing must be installed with new roof
 - Poor ventilation & little to no insulation in attic
 - Rusted nails & dark rings on cedar shingles and rear tongue & groove sheathing
 - Need more Ventilation to avoid mold, condensation, heat build-up, sheathing/structure damage

READ THIS NOTE: Keep all roofs in **LEAK -FREE condition**. If not in leak-free condition, water can and will leak into a home, causing damage, and mold like conditions. Anything checked off above in conditions section must be addressed/corrected/evaluated and repaired/replaced by a qualified roof prior to closing and contractual limitations. Plan for repairs and roof replacement. Obtain closed roof permits from township/Boro/City and plan and budget for roof repairs & replacement. Ask if roof is under a transferrable warranty. Water damage and mold can be concealed behind walls, ceilings or any other covering that cannot be seen during a Visual Home Inspection. Refer to the NJ Standards of Practice sent with your Pre-Inspection contract. If you have any concerns, you must engage in a contract with a licensed contractor to open up walls, ceilings, flooring or other cladding or covering by arranging it with the sellers before closing to rule out hidden problems, mold or other water related issues. There are costs associated with this type of invasive investigation. This will involve destructive means that is beyond the scope of a general visual non-invasive home inspection under New Jersey law. See siding section for similar comments about hidden damage.

MULTI-LAYER ROOFS: Multi-layers will shorten life of existing roof. There are many disadvantages of having multi-layer roofs even though it may be acceptable in many municipalities across New Jersey. Multi layers wear faster or shorten the current roof layer because of the uneven surface that it was laid over. These roofs are heavier and increase the dead load thereby placing the roof structure under greater load often causing deflection. Deflection was observed from street or distance looking at roof. Multi layers (ML) are more inclined to have shingles blow off especially if nails cannot penetrate the roof decking. The key factor or weakness in ML layer roofs are the fact that flashings are not replaced without stripping off roof. This makes the roof vulnerable in areas where old flashings remain and often tarred over. The sun's UV rays cracks tar year to year and water leaks in these areas. ML roofs tend not to dry out sufficiently and thus accelerating the ageing or deterioration of the newest layer. Flashings are the most important detail of a well installed roof to help protect the junctures and penetrations from water entry. A ML roof lacks new flashings since it was not stripped off for their installations. ML roofs will make attic hotter, trap moisture and cause sheathing damage, rot and mold due to trapped heat and moisture. Roofs should have more or maximum ventilation. Have roof, ventilation and gutters evaluated by qualified roofer before closing.

SKYLIGHTS N/A Cracked/Broken Not visible Cloudy or overcast; limited visibility

PLUMBING VENTS Yes No Satisfactory Marginal

replace boot covers/flashings- yellowing in 2nd floor bathroom indicating leaking

Recommend roofer evaluate and advise on costs tear off, sheathing & lathe removal, roof structure, roofing, gutters & ventilation before closing & contractual limitations

Maintain roofs in leak free, debris free condition as well as gutters year round to avoid internal or concealed leaking into the home and potential water/mold like substances/wood destroying insects

Conditions reported above reflect visible portion only

GENERAL COMMENTS

ROOF: The roof was past it expected life. The main roof had no sheathing and two layers of roofing; asphalt shingles over cedar wood shingles with rafters 24" OC, no collar ties or knee walls (rafter spread). The rear section was one layer and over ~ 1950's tongue and groove sheathing. The roof had poor ventilation and little to no insulation; rusted nails, dark rings around nails, pine sap beads on tongue & groove sheathing, drying cracks and hot & humid attic. Hot humid or poorly ventilated roofs will shorten life of roof. There was yellowing or water stains on ceiling in 2nd floor bathroom around a plumbing vent; leaking/moisture. Recommend replacing all plumbing vent covers/flashings with roof. Shingles had aggregate or granular loss, curling, excess overhang, weathered, widening keyways, cracking, exposed felt/backing, water stains in closet or interior apartment, etc.; past expected life. The roof had depressions or wavy as viewed at a distance. There were roof structure concerns/deficiencies as well as bowed walls as viewed in the alleys or sides of building. The roof will require sheathing when cedar shingles and lathe removed as well as structure evaluation. Recommend a building contractor, roofer and structural engineer (PE) evaluate roof structure and advise on roof structure/repairs, roof tear off & replacement, ventilation & insulation and gutters before closing & contractual limitations. Obtain the closed permits for roof from township and any warranty from roofer if applicable and transferrable. All roofs will need repairs at some point during the life of the roof; expect these and plan for them. Only a roofer should make repairs and not a handyman or non-roofer. Always check roofs after rains, high winds or severe weather including winter storms. Ice and snow build-up in gutters can cause leaks in the interior; keep gutters cleaned and flowing year round for proper drainage.

CONCERNS:

1. **The roof had structural concerns, substandard construction/deficiencies and past its life. The rafters 24" OC & no sheathing where cedar shingles under asphalt shingles (multi-layer), poor ventilation, little to no insulation and no gutters for drainage and asphalt shingles past expected life. Water was spilling onto ground below and close to the slab foundation; inadequate roof drainage. Recommend a structural engineer (PE), qualified roofer and/or building contractor evaluate & advise on roof structure/repairs, roof shingle replacement/tear off, insulation & ventilation and gutters before closing and contractual limitations.**

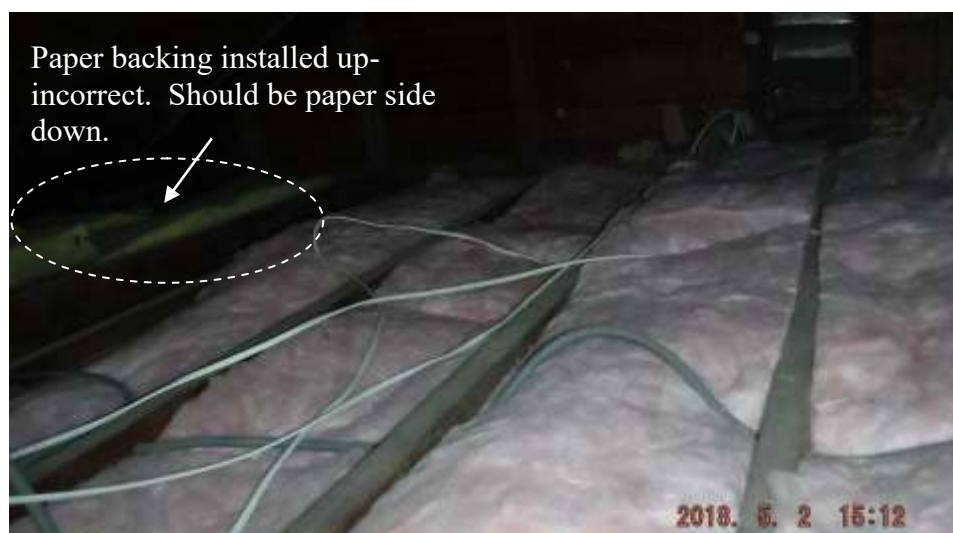


Poorly insulated ducts in attic

No insulation most of attic

Loose wires & cables

Figure 2 Main front section of attic; no insulation, poorly wrapped insulation on ducts and loose wires. Roof structure was substandard and had deficiencies and past expected life.



Paper backing installed up-incorrect. Should be paper side down.

Figure 3 Small rear addition of attic had insulation and was installed with paper backing or vapor barrier up; should have paper side down on living space of house. There were missing section of insulation in rear and all of front main house. Attic was poorly ventilated and little or no insulation. There were loose electrical wires in attic; have electrician correct wiring.



Rusted nails, dark
rings/staining- poor ventilation

Figure 4 Cedar shingles under asphalt shingles, rusted nails, no collar ties, poor ventilation, etc. Roof is past its life and has structural concerns. Recommend a structural engineer (PE), roofer and or building contractor further evaluate roof & structure and advise on structure repairs, roof replacement, ventilation & insulation and gutters.



Figure 5 Asphalt tab roof over cedar shingles (no sheathing), past life, no gutters, poor ventilation & insulation and structural concerns/deficiencies.





Figure 6 Walls on both sides were bowed and roof had waviness, depressions and structural deficiencies. Recommend further evaluation by a structural engineer (PE), roofer and or building contractor along with the structure of the building. See siding section comments.

CHIMNEY/GUTTERS/SIDING/TRIM**CHIMNEY(S)** None

Location(s): rear

Viewed From: Roof Ladder at eaves Ground with binoculars

Note: Chimney inspection is very limited during a home inspection. Sections at top, cap, liners are often not visible. Level II chimney inspection is always recommended prior to closing to fully inspect the chimney.

Rain Cap/Spark Arrestor: Yes No *Recommended on chimney* *Recommend a chimney contractor clean/evaluate and advise on internal condition and verify presence of a liner for fire/life/safety***Chase:** Brick veneer Stone Metal Blocks Framed**Evidence of:** Holes in metal Cracked chimney cap Loose mortar joints Flaking Loose Brick Rust**Flue/Liner:** *Recommend a chimney contractor clean/evaluate and advise on internal condition and verify presence of a liner for fire/life/safety* Not visible**Evidence of:** Scaling Cracks Creosote *Not evaluated (See remarks page)* *Have flue(s) cleaned and re-evaluated* *Recommend Cricket/Saddle/Flashing***Condition:** Satisfactory Marginal *Recommend a chimney sweep clean & evaluate internal chimney. Chimney should have a proper liner with furnace replacement- see heating section comments. Furnace was in poor condition and past life.***GUTTERS/SCUPPERS/EAVES TROUGH** Dirty, clogged or poorly maintained gutters will cause leaks into interior or behind walls. Clean often and checked frequently. *Needs to be cleaned yearly or more often* *Downspouts missing* An ice dam is a ridge of ice that forms at the edge of a roof and prevents melting snow (water) from draining off the roof. The water that backs up behind the dam can leak into a home and cause damage to walls, ceilings, insulation, and other areas.**Material:** Copper Vinyl/Plastic Galvanized/Aluminum **No Gutters****Condition:** Satisfactory Marginal Poor *Rusting***Leaking:** Corners Joints *Hole in main run***Attachment:** Loose *Missing spikes* *Improperly sloped (See remarks page)***Extension needed:** Add gutters with roof replacement- see roofing section comments/past life North South East West**SIDING**

(*See remarks page EIFS)

Material: At least two layers of siding- visible asbestos like siding under the top layer of vinyl siding
 Loose, in contact with soil, poorly installed siding & trim, poor trim/capping around doors and windows
 Walls of building were *bulging* on bottom and upper section of left and right sides. There were sloped floors, squeaking/bounce/vibration when walking across flooring on the second floor apartment
 *Recommend a siding contractor evaluate siding for repairs/replacement after structural concerns resolved.***Note- Concealed behind Siding :** Siding cannot be removed during a home inspection; invasive. There is always a chance of concealed water and/or wood destroying insect damage behind gutters, siding, trim, rake boards and fascia. This cannot be determined during a visual non-invasive home inspection. Mold can also be concealed and not visible.**Condition:** Satisfactory Marginal Poor *Recommend repairs/correct installations***TRIM, SOFFIT, FASCIA, FLASHING****Material:** Vinyl/metal over wood Poor trim/capping/finished exterior *Recommend repairs/correct siding/trim/flashings installations* *Damaged wood should be determined or ruled out since trim & siding had gaps, openings, loose, etc.- open for water entry*

Note: Often concealed water damage or rot can be concealed behind gutters on fascia or soffits. Monitor areas and address repairs as needed. Dirty gutters will spill over and cause damage often concealed, on fascia, trim, siding or interior; clean regularly.

Condition: Satisfactory Marginal **Poor**

CAULKING

Condition: Satisfactory Marginal Poor
 Recommend around windows/doors/masonry ledges/corners/utility penetrations as needed

WINDOWS & SCREENS

Material: Wood Metal Vinyl Aluminum/Vinyl Clad
Screens: Satisfactory- use caution when small children present in the 2nd floor apartment. Screen will not hold a child back in the event they climb by a window
Condition: Satisfactory Marginal Poor *Wood rot* *Recommend repair/painting*

STORMS WINDOWS N/A Not installed Wood Clad comb. Wood/metal comb.

SLAB-ON-GRADE/FOUNDATION N/A (See Basement/Crawl Space)

Stem Wall: Concrete block Poured concrete N/A
Condition: Satisfactory Marginal Poor Not visible
Slab: Post tensioned Concrete inaccessible due to flooring in store and siding in contact with soil
Condition: Satisfactory Marginal Poor *(See comments page)*

GENERAL COMMENTS

CHIMNEY/GUTTERS/SIDING/TRIM: There were no gutters on roof; water collecting in alleys and near the slab foundation. Recommend adding gutters with roof replacement and extend away from foundation for drainage. Gutters should be larger or ~ 6" open/uncovered for best water collection and extend at least 6-8 ft. away from building. Clogged gutters can cause leaking & damage to interior or where concealed in walls. Discuss auto sensed gutter heat elements for winter with a gutter company or building contractor to detect ice and melt frozen water in gutters in winter or cold months. Clean gutters often to ensure proper flow or distribution away from structure. Clogged, dirty or covered (gutters helmets, screens, etc.) will reduce the collection ability and spillage or water damage can occur to interior of home. Gutters and rain leaders or downspouts are important for rainwater collections and distribution away from structure. Vegetation, grading surface drainage, rotted tree stumps among other forms of plant material is likely to adversely affect the home or dwelling adversely. Grounds are viewed during a home inspection from the perspective of how they may affect the home negatively. Homes can typical experience wet basements, crawl spaces and attract Wood destroying insect infestation as a result of negative grading, landscaping and soil too close to home and poor maintenance. Recommend chimney sweep clean/evaluate chimney. There was a single flue brick veneer chimney on rear; no rain cap, mortar cracks and staining. The furnace was very old and past it life. Recommend a chimney contractor & sweep clean and evaluate chimney at time of furnace replacement and advise on all repairs, repointing and verify presence of a stainless steel liner with furnace installation. See heating section comments. There was gas piping on right side of house for future gas service; no meter installed. Discuss options of a gas furnace and water heater (on demand) with an HVAC contractor and licensed plumber. Furnace and water heater were in poor condition and should be replaced now. *All chimneys will need repairs and or linings at some point(s) in their life. Proper maintenance and cleanings are extremely important for fire and life safety as well as maintaining the structural integrity of chimney and or fireplace if present. It is strongly recommended to have a Level II (National Fire Safety Standard NFPA211) chimney inspection when changing ownerships and when fuels have been changed from oil to gas in older homes to avoid costly repairs and ensure life safety. The Internal elements of the chimney could not be evaluated and fall outside the scope of a visual home inspection. Internal defects and/or fire hazards often exist in any chimney of any age and especially in older structures. It is strongly advised that a Level II Internal chimney inspection be conducted in accordance with the National Fire Safety Standard (NFPA 211) prior to closing. Buyer accepts all risk, cost of repairs, possibility of dangerous conditions (fire, carbon monoxide, unstable structure, etc) if he or she fails to conduct this type of Level II chimney inspection.* There was at least two layers of siding or cladding was visible; vinyl over asbestos like shingles. The vinyl siding and broken asbestos like siding was in contact or buried in soil. Asbestos siding was detached or broken sections along the lower siding. Asbestos siding should be evaluated by an asbestos contractor and advise on containment or removal since several areas where loose and on ground. Asbestos or other environmental substances should always be evaluated by a qualified contractor; beyond the scope of a general home inspection. Siding was not straight or plumb lines, detached/loose, in contact with soil or ground, trim/flashings/capping/wrapping was incomplete or improperly installed. The exterior siding/cladding/trim was not installed professionally and therefore gaps or openings and unfinished trim is open for water entry. Recommend determining any concealed water/wood destroying insect or mold like damage or rule out damage since water can enter behind the siding or exterior. There were no gutters and water dripping or

This confidential report is prepared exclusively for Client on contract for them to rely on and not transferrable.

allowed to run down siding or exterior. The walls of the building were bulged on left and right sides (bottom and upper sections). There were wide window sills in the main section of home (smaller rear section was added or an addition); indication of possible stone walls. There were sloped floors in home and bounce, movement or vibration when walking on the second floor apartment. The bulged walls and wavy/depressions/substandard roof construction are structural concerns or deficiencies/defects. There were two visible lally columns in the store front, an open room, a rear addition and structure concealed in ceiling or walls. Typically lally columns need to be spaced no more than 8ft apart and or load bearing walls present; further evaluate all columns or support walls. Recommend a structural engineer (PE) and a building contractor evaluate the building's structure (bulged walls, roof structure, sloped flooring & canted walls, columns/lallys/support walls, etc.) and advise on all structural repairs or mitigation. The siding/trim/capping/wrapping or exterior should be corrected along with the roof & roof structure when structural repairs made as per the engineer (PE) and building contractor. The slab foundation was not visible or accessible due to siding to soil and flooring in the store; further evaluate when made accessible. Refer to separate NPMA-33 Wood destroying insect report; swarmer wings and body part observed in the store. Use caution when small children present in the 2nd floor apartment. Screen will not hold a child back in the event they climb by an open window and against a screen. Use plastic safety clips on window to restrict the opening.

CONCERNS:

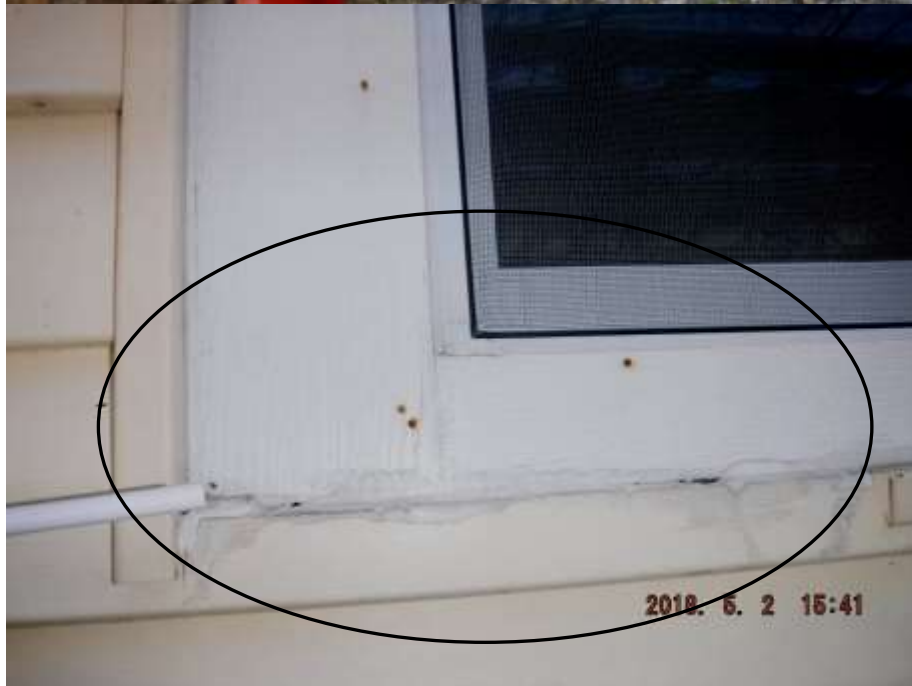
1. **There were no gutters on roof; water collecting in alleys and near the slab foundation. Recommend adding gutters with roof replacement and extend away from foundation for drainage. Gutters should be larger or ~6" open/uncovered for best water collection and extend at least 6-8 ft. away from building. Clogged gutters can cause leaking & damage to interior or where concealed in walls. Discuss auto sensed gutter heat elements for winter with a gutter company or building contractor to detect ice and melt frozen water in gutters in winter or cold months.**
2. **There was a single flue brick veneer chimney on rear; no rain cap, mortar cracks and staining. The furnace was very old and past it life. Recommend a chimney contractor & sweep clean and evaluate chimney at time of furnace replacement and advise on all repairs, repointing and verify presence of a stainless steel liner with furnace installation. See heating section comments. There was gas piping on right side of house for future gas service; no meter installed. Discuss options of a gas furnace and water heater (on demand) with an HVAC contractor and licensed plumber. Furnace and water heater were in poor condition and should be replaced now.**
3. **There was at least two layers of siding or cladding was visible; vinyl over asbestos like shingles. The vinyl siding and broken asbestos like siding was in contact or buried in soil. Asbestos siding was detached or broken sections along the lower siding. Asbestos siding should be evaluated by an asbestos contractor and advise on containment or removal since several areas were loose and on ground. Asbestos or other environmental substances should always be evaluated by a qualified contractor; beyond the scope of a general home inspection. Siding was not straight or plumb lines, detached/loose, in contact with soil or ground, trim/flashings/capping/wrapping was incomplete or improperly installed. The exterior siding/cladding/trim was not installed professionally and therefore gaps or openings and unfinished trim is open for water entry. Recommend determining any concealed water/wood destroying insect or mold like damage or rule out damage since water can enter behind the siding or exterior. There were no gutters and water dripping or allowed to run down siding or exterior. The walls of the building were bulged on left and right sides (bottom and upper sections). There were wide window sills in the main section of home (smaller rear section was added or an addition); indication of possible stone walls. There were sloped floors in home and bounce, movement or vibration when walking on the second floor apartment. The bulged walls and wavy/depressions/substandard roof construction are structural concerns or deficiencies/defects. There were two visible lally columns in the store front, an open room, a rear addition and structure concealed in ceiling or walls. Typically lally columns need to be spaced no more than 8ft apart and or load bearing walls present; further evaluate all columns or support walls. Recommend a structural engineer (PE) and a building contractor evaluate the building's structure (bulged walls, roof structure, sloped flooring & canted walls, columns/lallys/support walls, etc.) and advise on all structural repairs or mitigation. The siding/trim/capping/wrapping or exterior should be corrected along with the roof & roof structure when structural repairs made as per the engineer (PE) and building contractor. The slab foundation was not visible or accessible due to siding to soil and flooring in the store; further evaluate when made accessible. Refer to separate NPMA-33 Wood destroying insect report; swarmer wings and body part observed in the store. Use caution when small children present in the 2nd floor apartment. Screen will not hold a child back in the event they climb by an open window and against a screen. Use plastic safety clips on window to restrict the opening.**



Figure 7 Example of bulging walls; left side depicted. There were bulges on left and right as well as upper and lower. There were structural concerns in the home (flooring, roof, etc.).



Figure 8 Visible asbestos like siding (painted gray) slipped down and loose under the vinyl siding.







EXTERIOR/ELECTRICAL/A/C/HEAT PUMP/GARAGE

SERVICE ENTRY

- Underground Overhead *Weather head/mast needs repair* Condition: Sat. Marginal Poor
Exterior outlets: Yes No **Operative:** Yes No *Overhead wires too low*
GFCI present: Yes No **Operative:** Yes No *Less than 3' from balcony/deck/windows*
 Reverse polarity *Open ground* *Safety Hazard*

BUILDING(S) EXTERIOR WALL CONSTRUCTION

- Type:** Not visible, inside walls Framed Masonry Other
Condition: Structural concerns- Bulged walls Marginal Poor Not visible inside walls

EXTERIOR DOORS

- | | | | |
|---|--|--|---|
| | <i>Patio</i> | <i>Storm</i> | <i>Entrance</i> |
| Weather-stripping: <input type="checkbox"/> Satisfactory | <input checked="" type="checkbox"/> Marginal | <input checked="" type="checkbox"/> Poor | <input type="checkbox"/> Missing <input type="checkbox"/> Replace |
| Door Condition: <input type="checkbox"/> Satisfactory | <input checked="" type="checkbox"/> Marginal | <input checked="" type="checkbox"/> Poor | |

EXTERIOR A/C - HEAT PUMP GARAGE

Location(s): No central A/C

- None Attached Detached 1-car 2-car 3-car 4-car

GENERAL COMMENTS

EXTERIOR/ELECTRICAL/A/C/HEAT PUMP/GARAGE : There was a sewer vent pipe on right side; no screen or vented cover; have evaluated for a vented cover. There were bulged walls as viewed on exterior; see structural comments in siding and main concerns at front of report.

UNIT I STORE FRONT 1ST FLOOR**BATH: ½ BATH****SINKS / TUBS / SHOWERS**Faucet leaks: Yes No

Fixture(s) Condition:

Hot water: Yes No**TOILET**Bowl Loose: Yes NoLoose: Yes No Satisfactory Marginal **Poor- inadequate clearance in front of bathroom door due to slop sink**Cold water: Yes NoPipes leak: Yes NoOperates: Yes No Toilet leaks Cracked bowl/tank Cross connection**WALLS / CEILING / CABINETS**Moisture stains present: Yes NoG.F.C.I. Present: Yes No

Open ground/Reverse polarity within 6' of water:

Outlets present: Yes NoOperates: Yes NoPotential safety hazards present: Yes No**HEATING / COOLING SOURCE**Window/Door: Yes No SatisfactoryExhaust Fan: Yes No

Operates:

 No see window section commentsNoisy: Yes No**GENERAL COMMENTS**

1/2 BATH: There were no outlets in this bathroom. Recommend adding GFCI tamper resistant outlet & combination light switch. The vanity was concealing the water meter and main shutoff. Recommend a pedestal or wall mounted sink to gain access to the water main in an emergency. The slop sink at the rear of store does not allow proper clearance for a person with a walker, cane or disabilities to enter the bathroom easily. Recommend a grab bar on outside of door to step up into the bathroom and on left wall by toilet for handicap or elderly. Recommend a recessed light in bathroom for more head clearance. When changing light fixtures, consider led and a wall switch with auto sensed (on-off-auto modes). Recommend following up with a bathroom contractor or building contractor for upgrades and renovations.

CONCERNS:

1. There was inadequate clearance around the water meter & shutoff and bathroom door; vanity and slop sink obstructions.
2. Recommend following up with a bathroom contractor or building contractor for upgrades and renovations.

MAIN ROOM STORE FRONT

LOCATION:

Walls & Ceiling: Satisfactory- drywall or walls concealed internal structure*
 structure inaccessible; bulged walls on exterior/structural evaluations recommended by a structural engineer (PE) before closing*

Floor: **Moisture stains:** Yes- water filled open drains pipes and inside the trap in floor
 ceramic tiles over slab Marginal Poor Squeaks Slopes
Typical cracks: Yes No

Ceiling Fan: N/A Satisfactory Marginal Poor

Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: No Cover plates missing Safety Hazard- scorched outlet

Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings

Bedroom Egress Restricted: N/A Yes No

Doors & Windows: **Operational:** Yes No **Broken Vapor Seals :** Yes No N/A
Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

MAIN ROOM STORE FRONT : . There were two visible lally columns in the store front, an open room, a rear addition and structure concealed in ceiling or walls. Typically lally columns need to be spaced no more than 8ft apart and or load bearing walls present; further evaluate all columns or support walls. There were structural concerns in the building; bulged walls (visible on exterior), sloped flooring, bounce & vibrations when walking across flooring in second floor, canted doors/walls/ceilings in apartment above. The store front was finished and structure inaccessible. The building was approximately 120 yrs. old and appears to have had an addition on rear (visible 1950's tongue and groove roof sheathing) or structural modifications. Recommend a structural engineer (PE) and a building contractor evaluate the building's structure (bulged walls, roof structure, sloped flooring & canted walls, columns/lallys/support walls, etc.) and advise on all structural repairs or mitigation. The store had past plumbing abandoned and sink(s) removed, two sinks in rear & some fixtures not working or functioning, open drain piping (filled with water on floor with covered lateral pipe), a trap/pit/cavity with rusted or corroded cover/ledge near PVC drain, a beverage frig stored in rear by furnace, etc. The plumbing in building was a mix of ages and types as well as non-professional or handyman installations. Recommend a licensed plumber and/or building contractor clean up abandoned piping, corroded plumbing (piping, fittings, fixtures, etc.) and advise on the trap or pit use and function. Discuss the next business intentions and needs with the plumber and building contractor to address all plumbing needs or future needs for the building. Recommend upgrades and/or repairs to suit apartment and business needs. There were termite swarmer wings & body parts in the slop sink and around on floor or by trap. See separate NPMA-33 Wood destroying insect report. There was a scorched outlet in the store; indicative of overloaded or over heating when a heavy draw appliance plugged into outlet. See electrical section comments.

CONCERNS:

1. The building was approximately 120 yrs. old and appears to have had an addition on rear (visible 1950's tongue and groove roof sheathing) or structural modifications. Recommend a structural engineer (PE) and a building contractor evaluate the building's structure (bulged walls, roof structure, sloped flooring & canted walls, columns/lallys/support walls, etc.) and advise on all structural repairs or mitigation.
2. The store had past plumbing abandoned and sink(s) removed, two sinks in rear & some fixtures not working or functioning, open drain piping (filled with water on floor with covered lateral pipe), a trap/pit/cavity with rusted or corroded cover/ledge near PVC drain, a beverage frig stored in rear by furnace, etc. The plumbing in building was a mix of ages and types as well as non-professional or handyman installations. Recommend a licensed plumber and/or building contractor clean up abandoned piping, corroded plumbing (piping, fittings, fixtures, etc.) and advise on the trap or pit use and function. Discuss the next business intentions and needs with the plumber and building contractor to address all plumbing needs or future needs for the building. Recommend upgrades and/or repairs to suit apartment and business needs.
3. There were termite swarmer wings & body parts in the slop sink and around on floor or by trap. See separate NPMA-33 Wood destroying insect report.
4. There was a scorched outlet in the store; indicative of overloaded or over heating when a heavy draw appliance plugged into outlet. Recommend a licensed electrician evaluate outlet and all electrical needs for the apartment and business.



Figure 9 Termite swarmer wings and body parts. See separate NPMA-33 Wood destroying insect report.





Figure 10 Rusty floor trap and termite swarmer wings & body parts.



Figure 11 Two visible lally columns and structural concerns in the building. Follow up with the structural engineer (PE) for evaluations before closing & contractual limitations.



Figure 12 Recommend a licensed electrician evaluate scorched outlet and make repairs/replacement; overloaded or heavy draw appliance. Discuss all electrical needs with the electrician for the apartment and the business needs and upgrade and install power, devices, outlets, fixtures, lighting, etc.

UNIT I**KITCHEN I****COUNTERTOPS**

Satisfactory Marginal *Recommend repair/caulking*

CABINETS

Satisfactory Marginal *Recommend repair/adjustment*

Note: Counter tops, cabinets or other storage built in products vary in quality, construction, manufacturer and brand. Low quality materials such as press board or particle board type products will sag, bow, glue separation, split have separations between units, counter tops and back splashes. This is especially true when items such as microwave, heavy cookware and other counter top appliances are placed on the shelves and counter tops. They will stress the material, often fall apart and become unglued. It is not the inspector's responsibility to judge them, inspect quality or predict their life or resulting product breakdown. This material and similar composite materials is lower quality and will have problems or negative issues. They often result in loose hardware, splits and cracks due to the low product quality. If the material becomes moist or wet it will swell, split, break down and fail. *If you have concerns about your quality of fixtures, brands, manufacturer, appliances, cabinets, counter tops, and other installed products, address them before closing with the selling party. Check all paperwork, manuals and other product literature for specifications, design, construction and warranty.*

PLUMBING COMMENTS

Faucet Leaks: Yes No **Pipes leak/corroded:** Yes No
Sink/Faucet: Satisfactory Corroded Chipped Cracked *Recommend repair*
Functional Drainage: Adequate Poor **Functional Flow:** Adequate Poor
Hot water: Yes No **Cold water:** Yes No

WALLS & CEILING

Condition: Satisfactory Marginal Canted cracks *Moisture stains*

HEATING / COOLING SOURCE

Yes No

FLOOR

Condition: Satisfactory Marginal Poor Sloping Squeaks, bounce, vibration

APPLIANCES *

(See remarks page) Appliances are NOT GUARANTEED & only tested as found condition at time of inspection (Snap Shot); obtain a Home Warranty from Realtors office or private source to cover appliances. Always check under refrigerators and dishwashers, etc. for leaks, damage & mold before closing by licensed plumber & building contractor. Mold/environmental inspections are beyond the scope of a home inspection. Contents of home not manipulated and moved in a visual home inspection.

Disposal Operates: Yes No Oven/Range* Operates: Yes electric
 Dishwasher Operates: Yes No
Dishwasher Air gap: Yes No N/A **Dishwasher Drain Line Looped:** Yes No Not visible
Outlets Present: Yes No Operable: Yes No
G.F.C.I.: Yes No Operable: Yes No
Open ground/Reverse polarity within 6' of water: Yes No *Potential safety hazard(s)*

NOTE: The Consumer Product Safety Commission, using estimates from 2006 through 2008, says that major appliances caused more than 150,000 residential fires each year, resulting in 3,670 injuries, 150 deaths, and \$547 million dollars in property damage. Go to (<http://www.consumerreports.org>) to see recent recalls.

*** Pursuant to 13:40-15.16 Standards of practice**

l) When inspecting the interior of a residential building, a home inspector shall:

1. Inspect:

v. Household appliances limited to:

- (1) The kitchen range and oven to determine operation of burners or heating elements excluding microwave ovens and the operation of self-cleaning cycles and appliance timers and thermostats;
- (2) Dishwasher to determine water supply and drainage; and
- (3) Garbage disposer

GENERAL COMMENTS

KITCHEN I : Recommend anti tip brackets on all stoves for safety.* Recommend a guard on the stove for safety. Recommend GFCI taper resistant (TR) on the counter top. Add more outlets where needed on walls or under counter mounts. Discuss all electrical needs with a licensed electrician. Turn the ball valves under sink once in a while to clean the ball valves. Use the child plastic clips on windows when children present; see window section comments, Only damp mop flooring to avoid laminate damage. Add pull knobs on cabinets; none installed. Make sure the canister lights in the apartment are IC rated for “in contact” with insulation and ask if they are LED. There was sloped flooring, bounce/vibrations when walking on flooring. Molding had gaps that follow the sloped or wavy flooring. There were canted walls & ceilings and exterior bulged walls. There were structural concerns or deficiencies in the building; see structural comments. Recommend a structural engineer (PE) evaluate the building’s structure and advise. There was a scuttle in ceiling for attic access. The attic/roof needs ventilation and insulation; see roof and attic section comments.

CONCERNS:

1. **Recommend GFCI taper resistant (TR) on the counter top. Add more outlets where needed on walls or under counter mounts. Discuss all electrical needs with a licensed electrician.**
2. **There was sloped flooring, bounce/vibrations when walking on flooring. Molding had gaps that follow the sloped or wavy flooring. There were canted walls & ceilings and exterior bulged walls. There were structural concerns or deficiencies in the building; see structural comments. Recommend a structural engineer (PE) evaluate the building’s structure and advise.**

LAUNDRY ROOM

ROOM COMPONENTS

Laundry sink: N/A **Faucet leaks:** Yes No **Pipes leak:** Yes No
Hot water: Yes No **Cold water:** Yes No
Cross connections: Yes No **Heat source present:** Yes No **Room vented:** Yes No
Dryer vented: N/A Wall Ceiling Floor Not vented
 Not vented to Exterior *Recommend repair* *Safety hazard*
Electrical: Open ground/reverse polarity within 6’ of water: Yes No *Safety hazard*
G.F.C.I. present: Yes No **Operates:** Yes No
Appliances: Washer Brand: Dryer Brand: Water heater Furnace Cluttered
 Always check under washer & dryer for water damage and mold before closing; contents not manipulated or moved in a visual inspection.
 Note: Testing/inspecting washer and dryer is not part of New Jersey home inspection.
Washer hook-up lines/valves: Leaking Corroded Not visible
Gas Shut-off Valve: N/A Yes No Cap Needed Safety hazard Not visible
Electrical Set-up : N/A Yes No

GENERAL COMMENTS

LAUNDRY : N/A

BATHROOMS**MAIN BATH: 2ND FLOOR****SINKS / TUBS / SHOWERS**Faucet leaks: Yes No

Fixture(s) Condition:

Hot water: Yes NoLoose: Yes No Satisfactory MarginalCold water: Yes NoPipes leak: Yes No vanity concealed water meter & main shutoff**TOILET**Bowl Loose: Yes NoOperates: Yes No Toilet leaks Cracked bowl/tank Cross connection**SHOWER / TUB AREA / SINK(S)**Material: Ceramic/Plastic Fiberglass Masonite OtherCondition: Satisfactory Marginal Poor Rotted floors

Caulk/Grouting Needed:

 Yes No

Where: caulk around windows- see siding section/poor installation

Functional Drainage:

 Adequate PoorFunctional Flow: Adequate Poor

Whirlpool Operable:

 N/A Yes No

Access panel to pump/motor:

 Yes No Frameless shower doors can shatter or break when coming in contact with other hard objects. Use with caution.**WALLS / CEILING / CABINETS**Moisture stains present: Yes- around vent pipe & ceilingOutlets present: Yes No

G.F.C.I. present:

 Yes No

Operates:

 Yes No

Open ground/Reverse polarity within 6' of water:

 Yes NoPotential safety hazards present: Yes No**HEAT / COOLING SOURCE** Yes NoWindow/Door: Yes No Satisfactory- see window section Poor- window flashings/siding poorly installedExhaust Fan: Yes No

Operates:

 Yes NoNoisy: Yes No**GENERAL COMMENTS**

MAIN BATH APARTMENT : Recommend adding GFCI outlets; no outlets present. There were loose and patched tiles in the tub; water damaged & loose. There was poor drainage in bathroom, calcium/mineral build-up & erratic flow on fixtures, corrosion, etc. There were missing stoppers on sink and tub; add stoppers. Recommend a licensed plumber evaluate drainage and hard water. See plumbing section comments. There was an exhaust fan and no visible venting to outside; vent to exterior or verify vented to exterior and not attic. The registers in the bathroom and adjacent dining room were not cut and installed properly. There was insulation around the cutout that can blow into the room. Recommend a qualified HVAC contractor evaluate heating system and advise on furnace replacement, number of ducts & registers (design & adequacy), insulating ducts, etc. See heating section comments. There was sloped flooring throughout the home; see structural comments. There was yellowing or water stains around a plumbing vent in bathroom; see roofing section comments.

CONCERNS:

1. The registers in the bathroom and adjacent dining room were not cut and installed properly. There was insulation around the cutout that can blow into the room. Recommend a qualified HVAC contractor evaluate heating system and advise on furnace replacement, number of ducts & registers (design & adequacy), insulating ducts, etc. See heating section comments.
2. There was an exhaust fan and no visible venting to outside; vent to exterior or verify vented to exterior and not attic.
3. Recommend adding GFCI outlets; no outlets present.
4. There was yellowing or water stains around a plumbing vent in bathroom; see roofing section comments.
5. There was poor drainage in bathroom, calcium/mineral build-up & erratic flow on fixtures, corrosion, etc. There were missing stoppers on sink and tub; add stoppers. Recommend a licensed plumber evaluate drainage and hard water. See plumbing section comments.



Figure 13 There was yellowing/water stains around a plumbing vent. See roofing section comments.

LIVING ROOM

LOCATION: CURTAIN AROUND
USED AS BEDROOM

<p>Walls & Ceiling: <input type="checkbox"/> Satisfactory</p> <p>Floor: <input checked="" type="checkbox"/> <i>Structural concerns</i></p> <p>Ceiling Fan: <input checked="" type="checkbox"/> N/A</p> <p>Electrical: Switches: <input checked="" type="checkbox"/> Yes</p> <p>Heating/Cooling Source: <input checked="" type="checkbox"/> Yes</p> <p>Bedroom Egress Restricted: <input checked="" type="checkbox"/> N/A</p> <p>Doors & Windows: Operational: <input checked="" type="checkbox"/> Yes</p>	<p><input checked="" type="checkbox"/> Marginal</p> <p>Moisture stains: <input type="checkbox"/> Yes</p> <p><input checked="" type="checkbox"/> Poor</p> <p>Typical cracks: <input checked="" type="checkbox"/> Yes</p> <p><input type="checkbox"/> Satisfactory</p> <p><input type="checkbox"/> No</p> <p><input type="checkbox"/> No</p> <p><input checked="" type="checkbox"/> Yes</p> <p><input type="checkbox"/> No</p> <p><input checked="" type="checkbox"/> Yes</p> <p><input type="checkbox"/> No</p> <p><input checked="" type="checkbox"/> Yes</p> <p><input type="checkbox"/> No</p> <p><input checked="" type="checkbox"/> Yes</p> <p>Locks/Latches Operable: <input checked="" type="checkbox"/> Yes</p>	<p><input checked="" type="checkbox"/> Canted</p> <p><input checked="" type="checkbox"/> No</p> <p><input checked="" type="checkbox"/> Squeaks/vibration/bounce/movement</p> <p><input type="checkbox"/> No</p> <p><input type="checkbox"/> Marginal</p> <p><input checked="" type="checkbox"/> Yes</p> <p><input type="checkbox"/> No</p> <p><input checked="" type="checkbox"/> No</p> <p><input type="checkbox"/> Doors</p> <p><input type="checkbox"/> No</p> <p><input type="checkbox"/> No</p> <p>Broken Vapor Seals : <input type="checkbox"/> Yes</p> <p><input type="checkbox"/> No</p> <p><input type="checkbox"/> Missing</p> <p><input type="checkbox"/> Cracked Glass</p>	<p>Where: <input checked="" type="checkbox"/> Slopes</p> <p><input type="checkbox"/> Poor</p> <p>Operates: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p><input type="checkbox"/> Cover plates missing</p> <p><input type="checkbox"/> Safety Hazard</p>
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GENERAL COMMENTS

LIVING ROOM : The room was used as a make shift bedroom; curtains sectioning off an areas.

CONCERNS:

1. There was dished flooring, squeaking, bounce, vibrations and sloped flooring on the second floor. There were structural concerns or deficiencies in the building. Recommend a structural engineer (PE) evaluate the building's structure and advise.

#1 BEDROOM

LOCATION: FRONT

Walls & Ceiling: Satisfactory Marginal canted
Moisture stains: Yes No Where:
Floor: Cluttered, inaccessible areas *Structural concerns* Poor
 Squeaks/vibration/bounce/movement Slopes
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing **Safety Hazard**
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Yes No Broken Vapor Seals : Yes No N/A
Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

#1 BEDROOM : There were water stains in closet; see roofing section comments. The roof was past life.

CONCERNS:

1. Recommend replacing roof; see roofing section comments.



Figure 15 Water stains on closet; see roofing section comments.

#2 BEDROOM – locked room

LOCATION: CENTER LOCKED

Walls & Ceiling:	<input type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal	<input type="checkbox"/> Poor	
	Moisture stains:	<input type="checkbox"/> Yes	<input type="checkbox"/> No	Where:
Floor:	<input type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal	<input type="checkbox"/> Poor	<input type="checkbox"/> Squeaks <input type="checkbox"/> Slopes
	Typical cracks:	<input type="checkbox"/> Yes	<input type="checkbox"/> No	
Ceiling Fan:	<input type="checkbox"/> N/A	<input type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal	<input type="checkbox"/> Poor
Electrical:	Switches: <input type="checkbox"/> Yes	<input type="checkbox"/> No	Outlets: <input type="checkbox"/> Yes	<input type="checkbox"/> No Operates: <input type="checkbox"/> Yes <input type="checkbox"/> No
	Open ground/Reverse polarity:	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Cover plates missing <input type="checkbox"/> Safety Hazard
Heating/Cooling Source:	<input type="checkbox"/> Yes	<input type="checkbox"/> No	Holes:	<input type="checkbox"/> Doors <input type="checkbox"/> Walls <input type="checkbox"/> Ceilings
Bedroom Egress Restricted:	<input type="checkbox"/> N/A	<input type="checkbox"/> Yes	<input type="checkbox"/> No	
Doors & Windows:	Operational: <input type="checkbox"/> Yes	<input type="checkbox"/> No	Broken Vapor Seals :	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
	Locks/Latches Operable: <input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Missing	<input type="checkbox"/> Cracked Glass

GENERAL COMMENTS

#1 BEDROOM CENTER : The center bedroom #1 was locked and inaccessible. Recommend inspecting room before closing. There was sloping in hallway and throughout the apartment; indication of similar conditions may exist in this room too. See structural comments in report and main concerns.

WINDOWS/FIREPLACES/HALL/ATTIC

INTERIOR WINDOWS / GLASS

Condition: Satisfactory Marginal inaccessible windows
 Representative number of windows operated Ask if windows under warranty
Evidence of Broken Vapor seals : No/not ascertainable **Safety Glazing Needed:** Yes No
 Glazing compound needed Cracked glass Hardware missing Broken counter-balance mechanism
Security Bars Present: N/A Yes No Not tested Safety hazard Test release mechanism before moving in

FIREPLACE None Location(s): -----

STAIRS / STEPS / BALCONIES

Satisfactory Marginal Poor None
 Stairs/steps can be hazardous when open risers/not boxed in, smooth or slick varnished or painted surfaces or carpeting. Follow-up with a building contractor to evaluate for **non-slip treads** to ensure safety. Use caution with shoes or footwear that can also pose a slip/fall hazard. Be careful when ascending and descending on staircase.
 Open risers may be potentially dangerous when designed or built with open treads

Handrail: Satisfactory Marginal Poor Safety hazard Loose; secure properly
Risers/Treads: Satisfactory Marginal Poor Risers/Treads uneven/unsafe

SMOKE / CARBON MONOXIDE DETECTORS (See remarks page)

Present: Smoke Detector: Yes No **Operates:** Yes No Not tested
CO Detector: Yes No **Operates:** Yes No Not tested

Security systems, fire suppression and the like are not part of a home inspection (see contract). Follow up with the provider for these features in home to have them inspected or evaluated.

Not tested; Should be performed by Local/State municipality prior to Occupancy.

ATTIC/STRUCTURE/FRAMING/INSULATION N/A

Access: Stairs Pull down Scuttle hole/Hatch- kitchen No access Other
Inspected From: Access panel In the attic Other
Location: Bedroom hall Bedroom closet Garage kitchen
Access Limited By: no flooring/small scuttle
Flooring: Complete Partial None
Insulation: Type: fiberglass Batts Loose Average inches: 4 Approx. R-rating: Unknown
 Batts in the small rear addition of the home only
 Displaced and/or paper backing not installed properly (need to have paper down or against the living space to avoid moisture trapped in the insulation
 Missing- most of attic does NOT have insulation
 loose insulation – some areas- very little
 Recommend more ventilation & insulation
Installed In: Rafters Walls Between ceiling joists- rear section by addition Not visible
 Recommend additional insulation & ventilation

Note: Insulations in older homes may be very little or non-existent in walls, ceilings, crawl or basement; not visible where finished or inaccessible. It is always recommended to conduct an energy audit with a contractor that provides that service.

Ventilation: Yes- very small gable vents/Inadequate Recommend additional ventilation
 Maximum ventilation is always recommended to avoid shortening life of roof, avoid hot humid conditions conducive to mold growth, condensation/rusted nails/frost on sheathing & rafters, heat build-up, sheathing damage, etc. Discuss ventilation & insulation with a qualified contractor.

Fans Exhausted To: Attic: Yes- appear to vent in attic- have verified Outside: Yes No Not visible

Continued . .

- HVAC Duct:** Poorly insulated & poor installations
 Ducts in home were not installed properly/handyman and missing elbows/fittings/grilles or adjustable registers, missing returns, etc. Recommend a qualified HVAC contractor evaluate the home and store duct work and furnace and advise on ductwork, registers, returns and furnace replacement before closing and contractual limitations
- Chimney Chase:** N/A Satisfactory Needs repair Not visible- exterior mounted in rear of building
- Structural Problems Observed:** Yes **Recommend Structural Engineer**
- Roof Structure:** Rafters 24 OC substandard
- Collar Ties Present:** Yes No Depressions on roof
- Roof Sheathing:** 1x4 (rear addition only) Wood Cedar shingles Rotted Stained Delaminated
- Evidence of Condensation/Moisture Leaking:** Yes- plumbing vent in bathroom below (*See remarks page*) Possible Mold whenever there are leaks in home; testing and identification of mold and environmental hazards is NOT part of home inspection. Follow-up with an environmental testing contractor before closing for that type of inspection.
- Ceiling Joists:** Wood Metal Other Not visible
- Vapor Barriers:** Kraft/foil faced Plastic Not visible Improperly installed w/ paper up in rear addition
- Firewall Between Units:** N/A Yes No Needs repair/sealing (*See remarks page*)
- Indication of Past fire damage** Yes No Recommend checking with Local fire Marshall and Township
- Electrical:** Open junction box(es) Handyman wiring
 Visible knob-and-tube possible in a home of this age- follow up with electrician to see if present
 Loose wires/live wires

GENERAL COMMENTS

WINDOWS/FIREPLACES/HALL/ATTIC: There were vinyl replacement windows in the building. Ask if under a transferrable warranty. If not, plan & budget of repairs and replacements. Use caution when small children present in the 2nd floor apartment. Screen will not hold a child back in the event they climb by an open window and against a screen. Use plastic safety clips on window to restrict the opening. Recommend a chimney contractor evaluate chimney/flue/internal and advise on condition, repairs and presence of a liner along with the furnace replacement. ***It is always recommended to have a Level II*** (National Fire Safety Standard NFPA211) ***chimney inspection when changing ownerships.*** The attic was poorly ventilated and the rear section of roof that had tongue & groove sheathing and front had cedar roof shingles. There were rusted roof nails, dark rings around nails and hot & humid; poor ventilation. Hot humid attics will shorten life of roof. The roof rafters in front were 24 OC with cedar shingle roof and no substrate or sheathing. This section of roof had the greatest depressions or waviness and rear section of roof had tongue and groove sheathing typical of the 1950s. Roof structure was substandard and had structural deficiencies. Recommend a building contractor and/or the structural engineer (PE) evaluate roof structure and advise. The roof should be properly fortified as per the structural professional before roofing materials are installed. The roof shingles were past expected life, poor ventilation, little to no insulation, no gutters and structural deficiencies or defects. See roofing section comments. Hot humid attics will typically shorten life of roof, can potentially cause heat damage (splits, delamination, etc.) and conducive to mold/mildew. Recommend a ventilation & insulation contractor evaluate and advise on ventilation. Roofs should have maximum ventilation to avoid shortening life of roof, potential roof structure/heat damage and moisture build-up. There was inadequate insulation in attic (only partially added in rear section of attic by the tongue & groove sheathed roof) . Some of the batt fiberglass was missing in some bays and the paper backing facing up or improperly installed. The vapor barrier should always be facing or against the living space or heated side to avoid condensation build-up and conditions conducive to mold or mildew like substances. There was recessed lighting in the apartment. Follow up with the electrician to make sure it is IC rated or allowed to be in contact with insulation for fire safety. If not, discuss IC rated LED lighting with the electrician before insulating the attic. It is always a good practice to replace the roof first since debris will accumulate in the floor of the attic and need to be cleaned up. Then electrical work done where needed in attic when roof debris cleaned and then insulation installed to avoid messy cleanup or removal of debris around wiring, cables, etc. Ducts in home were not installed properly/handyman and missing elbows/fittings/grilles or adjustable registers, missing returns, etc. Recommend a qualified HVAC contractor evaluate the home and store duct work and furnace and advise on ductwork, registers, returns and furnace replacement before closing and contractual limitations.

Continued . .

CONCERNS:

1. Recommend a structural engineer (PE) evaluate roof structure along with the building and advise. Roof was past life, needs ventilation & insulation and gutters. See roofing & structural comments.
2. There were vinyl replacement windows in the building. Ask if under a transferrable warranty. If not, plan & budget of repairs and replacements. Use caution when small children present in the 2nd floor apartment. Screen will not hold a child back in the event they climb by an open window and against a screen. Use plastic safety clips on window to restrict the opening.
3. Recommend a chimney contractor evaluate chimney/flue/internal and advise on condition, repairs and presence of a liner along with the furnace replacement. It is always recommended to have a Level II (National Fire Safety Standard NFPA211) chimney inspection when changing ownerships.
4. Heating ducts were not installed or insulated properly in the home. See heating section comments.

SLAB ON GRADE

CRAWL SPACE Full slab on grade structure Full crawlspace Combination basement/crawl space/slab
 Conditioned (heated/cooled): Yes No

GENERAL COMMENTS

CRAWL SPACE/SLAB ON GRADE : The first floor was tiled and slab inaccessible. There was a trap door to a floor cavity with rusted metal cover and lip or ledge for cover and a partial view of a PVC pipe to the left where sinks were installed or abandoned. Recommend a licensed plumber evaluate trap and advise. There were structural concerns in the building; see structural comments.

PLUMBING

WATER SERVICE

Main Shut-off Location: ½ bathroom at rear of store- obstructed by a vanity

- All home will have plumbing repairs/upgrades at some point- monitor plumbing**
- Water Entry Piping:** Not visible Copper/Galv. Plastic* (PVC, CPVC, Polybutylene, PEX) Unknown
- Visible Water Distribution Piping:** Copper Galvanized Plastic* (PVC, CPVC, Polybutylene, PEX) Unknown
- Condition:** Satisfactory Marginal Poor
- Lead Other Than Solder Joints:** Yes No Unknown Service entry
- Functional Flow:** Adequate Low Calcium/mineral build up Water pressure over 80 psi; high
- Pipes, Supply/Drain:** Corroded Leaking/erratic spray Valves missing handles/corrosion
 Dissimilar metal Handyman plumbing Rubber capped drain in ceiling in store
 Abandoned plumbing Sink fixtures not working
- Drain/Waste/Vent Pipe:** Copper Cast iron Galvanized PVC ABS
- Condition:** Satisfactory Marginal Poor **Cross connection:** not visible
- Support/Insulation:** Type: ---- **Traps Proper P-Type:** No; some S-type or other P-traps recommended
- Functional Drainage:** Adequate Poor- apartment Recommend plumber evaluate
- Interior Fuel Storage System:** Yes No Leaking: Yes No
- Gas Line:** Copper Brass Black iron Stainless steel Flexible CSST (yellow) N/A
- Condition:** Gas line to building on right side in alley- no meter or currently with service

NOTE: T-Valves, ball valves, gate valves or any shut off valves, are not tested in a New Jersey home inspection.

MAIN FUEL SHUT-OFF LOCATION

By oil tank in rear of building

gas line service was visible on right side of building for future use

FIXTURES IN HOME

All plumbing and upgrades must be installed by licensed plumber and with permits when renovated.

Note: Fixtures in home are not inspected for product brand, quality, manufacturer, expected life or predicted failure. Fixtures are tested for adequate flow, adequate drainage and any noted leaks or corrosion at time of inspection. If brand and life service is a concern, obtain information and warranty from sellers before closing.

WELL PUMP

- N/A Submersible

Well system and water testing not part of NJ home inspection. Well inspection and water testing should be conducted prior to closing.

SANITARY / GRINDER PUMP

- N/A

WATER HEATER #1

- N/A

Condition: Poor/older

Brand name: ----

Type: Gas Electric Oil Other

Unit Elevated: Yes No N/A Tank/Piping corroded/leaking

Capacity: not visible or accessible (in corner to left of furnace) Approximate age: older

Combustion Air Venting Present: Yes No N/A Seismic restraints needed: Yes

Relief Valve: Yes **Extension proper:** Not visible Missing Recommend repair

Vent Pipe: N/A- electric Satisfactory Pitch proper Improper Rusted Recommend repair

WATER SOFTENER

(Unit not evaluated) N/A

Loop Installed: Yes No **Plumbing Hooked Up:** Yes No

Softener Present: Yes No **Plumbing Leaking:** Yes No

NOTE: Homes with hard water will often need a water softener system to avoid damaging mineral buildup or corrosion to plumbing supply lines, drains and fixtures. Confer with a water softener company and plumber if there is hard water in the home. Testing for hard water is not part of an inspection. If a home is left vacant for a period of time, it can clog fixtures resulting in loss of flow, hot or cold water. Toilets, bathrooms, washers, dishwashers, hot water heaters or any other appliance in a home can become damaged or fail because of hard water (calcium or mineral build-up) at any time even after an inspection. Get the water tested by a water softener company and fixtures evaluated by a licensed plumber before closing. Older homes can also have rusty water from street pipes or connections and iron in plumbing pipes such as galvanized pipes. These can corrode and rust from inside out and cause leaks, cracks and clogs. Have plumber upgrade older plumber in home. Plumbing code or any other code inspection is NOT performed in a general home inspection. Seek out a licensed plumber or township code officer for that type of inspection.

This confidential report is prepared exclusively for Client on contract for them to rely on and not transferrable.

GENERAL COMMENTS

PLUMBING: There were swarmer wings and bodies observed in the store in the white slop sink and floor by trap. Recommend a licensed Pest Company treat for termite. See separate NPMA-33 Wood destroying report. There was a sewer vent pipe on right side; no screen or vented cover; have evaluated for a vented cover. There was inadequate clearance around the water meter & shutoff and bathroom door; vanity and slop sink obstructions. The store had abandoned plumbing, capped drains(rubber), sink(s) removed, two sinks in rear & some fixtures not working or functioning, open drain piping (filled with water on floor with covered lateral pipe) and a trap/pit/cavity with rusted or corroded cover/ledge near PVC drain by the furnace room in store. The plumbing in building was a mix of ages and types as well as non-professional or handyman installations. There were S-traps, improperly pitched drains, old fixtures, broken or missing valve handles, handyman installations, poor drainage (apartment), calcium/mineral deposits, erratic flow, etc. Recommend a licensed plumber and/or building contractor clean up abandoned piping, corroded plumbing (piping, fittings, fixtures, etc.) and advise on the trap or pit use and function. Discuss the next business intentions and needs with the plumber and building contractor to address all current plumbing repairs or future needs for the building. Recommend following up with the contractor to discuss all plumbing and bathrooms upgrades and/or repairs to suit apartment and business needs. Note that fixtures, drains and pipes may clog, leak or back-up when a home is left vacant for a period of time and if there is hard water in home. Homes with hard water will often need a water softener system to avoid damaging mineral buildup or corrosion to plumbing supply lines, drains and fixtures. Confer with a water softener company and plumber if there is hard water in the home. Testing for hard water is not part of an inspection. If a home is left vacant for a period of time, it can clog fixtures resulting in loss of flow, hot or cold water. Toilets, bathrooms, washers, dishwashers, hot water heaters or any other appliance in a home can become damaged or fail because of hard water (calcium or mineral build-up) at any time even after an inspection. Get the water tested by a water softener company and fixtures evaluated by a licensed plumber before closing. Discuss water descaler units with a licensed plumber to help control hard water (ex- scale buster, eddy, Vulcan, etc. among others on market). Recommend a camera inspection of sewer lines to rule out cracks, roots, obstructions or damage; follow-up with a plumbing or a Roto-rooter type company. Recommend maintaining water & sewer main line insurance to help defray costs of main line repairs. Check with the local utilities or Water Company for participating insurers if available. Older homes can also have rusty water from street pipes or connections and iron in plumbing pipes such as galvanized pipes. These can corrode and rust from inside out and cause leaks, cracks and clogs. Have plumber upgrade older plumber in home. Plumbing code or any other code inspection in NOT performed in a general home inspection. Seek out a licensed plumber or township code officer for that type of inspection. All homes will need plumbing repairs (leaks, clogs, corrosion, upgrades, repairs, etc.) at any time in the life of the home. Plan and budget for these repairs and upgrades. Only a licensed plumber should make these repairs.

CONCERNS:

- 1. There were swarmer wings and bodies observed in the store in the white slop sink and floor by trap. Recommend a licensed Pest Company treat for termite. See separate NPMA-33 Wood destroying report.**
- 2. There was a sewer vent pipe on right side; no screen or vented cover; have evaluated for a vented cover. There was inadequate clearance around the water meter & shutoff and bathroom door; vanity and slop sink obstructions. The store had abandoned plumbing, capped drains(rubber), sink(s) removed, two sinks in rear & some fixtures not working or functioning, open drain piping (filled with water on floor with covered lateral pipe) and a trap/pit/cavity with rusted or corroded cover/ledge near PVC drain by the furnace room in store. The plumbing in building was a mix of ages and types as well as non-professional or handyman installations. There were S-traps, improperly pitched drains, old fixtures, broken or missing valve handles, handyman installations, poor drainage (apartment), calcium/mineral deposits, erratic flow, etc. Recommend a licensed plumber and/or building contractor clean up abandoned piping, corroded plumbing (piping, fittings, fixtures, etc.) and advise on the trap or pit use and function. Discuss the next business intentions and needs with the plumber and building contractor to address all current plumbing repairs or future needs for the building. Recommend following up with the contractor to discuss all plumbing and bathrooms upgrades and/or repairs to suit apartment and business needs.**



HEATING**HEATING SYSTEM - UNIT #1**

Location: rear of store

(See remarks page)

Brand name: ---- Approximate age: past life
 Ducts: Have ducts cleaned **Energy Source:** Gas LP Oil Electric

Warm Air System: Belt drive Direct drive Gravity Central system Floor/Wall unit
Heat Exchanger: N/A (sealed) Visual w/mirror *Flame distortion* *Rusted* *Carbon/soot buildup*
Carbon Monoxide: N/A Detected at Plenum/Register Not tested
CO Test: Yes No **Combustion Air Venting Present:** Yes No N/A
Controls: Disconnect: Yes No Normal operating and safety controls observed
Distribution: Metal duct Insul. flex duct Cold air returns Duct board
 Internal inspection of ducts and removal of registers, plenum, grilles, vents, etc. is NOT part of inspection; beyond the scope of a visual home inspection. Follow-up with a duct cleaning contractor for cleaning /HVAC contractor for internal inspection to rule out any unhealthy conditions (ex- mildew, mold, etc.) as well as corrosion, internal conditions, etc. before closing & contractual obligations. Environmental inspections (mold, mildew, asbestos, etc.) is beyond the scope of a home inspection.

Flue Piping: N/A Rusted Improper slope *Safety hazard*
Supports for Piping/Insulation: N/A Yes No
Filter: Standard Electrostatic Satisfactory Needs cleaning/replacement Missing
When Turned On By Thermostat: Fired Did not fire Proper Operation: *no- past life- replace now*
Heat Pump: Aux. electric Aux. gas N/A **Sub-Slab ducts:** Yes No N/A
System Not Operated Due To: Exterior temperature Other Recommend testing prior to *closing*
 Recommend technician evaluate for furnace replacement- poor condition

System Condition: Poor

Recommend HVAC technician examine yearly, obtain township code inspections for Fire and HVAC sub codes prior to closing. The inspection is not required to determine heat supply adequacy or distribution balance for the home or building. Have an HVAC contractor or boiler contractor evaluate the adequacy and required size needed before closing.

Recommend evaluation for new furnace and a water heater

OTHER SYSTEMS

N/A Electric baseboard Radiant ceiling cable

GENERAL COMMENTS

HEATING: Recommend a property tank sweep to rule out any possibility of buried oil tank before closing and contractual limitations. The building currently has one old heating unit with oil fuel storage tank outside behind the building. The tank was rusted, partial insulation on oil line(s) and not well maintained. It is always recommended to have the interior of tank inspected for rust, corrosion and pressure tested for leaks. The water heater and furnace were located at the rear of store and a rear exit was just past the furnace. There was a gas pipe in alley to building for future service (no gas meter). Recommend a qualified HVAC design contractor advise on options to have both gas furnace and "on demand water heater" with access from hallway or other access, isolating mechanicals (safety & fire egress consideration) so that a clear path to the rear door may be used for another public entrance into the store from the other street. Always check with the Boro for rules pertaining to business practices and public safety. The registers the apartment were not installed properly; improperly cut, missing duct elbows and adjustable register grilles. There was fiberglass insulation in the cut out of wall (improperly installed duct/register) that can blow into the room (s) along with dirt, dust or debris in the walls; an indoor air quality or health/safety concern. The center bedroom #2 was locked and inaccessible. The store had one register visible in the rear of store and others improperly installed; inadequate heating exists in building. Recommend the HVAC contractor evaluate design of registers/returns to store & apartment, advise on correcting installations, add registers/returns/grilles where needed for adequate heating for the entire building and replacement of furnace. All ducts should be properly insulated in the store, apartment and attic for energy conservation. There were through wall A/C units in the building. Discuss cooling options with the HVAC contractor such a central A/C and or wall mounted ductless units for the best heating and cooling energy options. It is important to have the attic floor insulated and properly ventilated to conserve when heating or if future central cooling installed. There was partial insulation over the rear addition where roof had tongue and groove sheathing. Some insulation in that area was missing and improperly installed (paper backing should be down toward the living space). See attic & roof section comments. There was a scorched outlet on rear left wall; often indicative of a heavy draw appliances such as a space heater or other. The oil fired furnace was very old, poor condition and past expected life. There was a gas service pipe on the right side in alley. Recommend a qualified HVAC design contractor evaluate the mechanical area and advise on options to have access from a vented door in hallway, free up space with an on demand water heater. Recommend cleaning filters periodically as per manufacturer. There are typically 30, 60, 90 day filters, washable filters, etc.; personal choice. Recommend having ducts cleaned professionally yearly or as recommended by duct cleaning contractor for good indoor air quality.

CONCERNS:

1. **Recommend a property tank sweep to rule out any possibility of buried oil tank before closing and contractual limitations. The building currently has one old heating unit with oil fuel storage tank outside behind the building. The tank was rusted, partial insulation on oil line(s) and not well maintained. It is always recommended to have the interior of tank inspected for rust, corrosion and pressure tested for leaks.**
2. **Recommend the HVAC contractor evaluate design of registers/returns to store & apartment, advise on correcting installations, add registers/returns/grilles where needed for adequate heating for the entire building and replacement of furnace. All ducts should be properly insulated in the store, apartment and attic for energy conservation.**
3. **There were through wall A/C units in the building. Discuss cooling options with the HVAC contractor such a central A/C and or wall mounted ductless units for the best heating and cooling energy options.**
4. **It is important to have the attic floor insulated and properly ventilated to conserve when heating or if future central cooling installed. There was partial insulation over the rear addition where roof had tongue and groove sheathing. Some insulation in that area was missing and improperly installed (paper backing should be down toward the living space). See attic & roof section comments.**
5. **The oil fired furnace was very old, poor condition and past expected life. There was a gas service pipe on the right side in alley. Recommend a qualified HVAC design contractor evaluate the mechanical area and advise on options to have access from a vented door in hallway, free up space with an on demand water heater.**



ELECTRICAL

MAIN PANEL Location: **Store front left wall** **Condition:** Satisfactory No Spares
Adequate Clearance To Panel: Yes No Amperage: **200** Volts 120/240 Breakers Fuses
Appears Grounded: Yes No Not visible
G.F.C.I. present: Yes No **Operative:** Yes No
A.F.C.I. present: Yes No **Operative:** Yes No
MAIN WIRE: Copper Aluminum Copper clad aluminum Tin clad copper Not visible
Condition: Satisfactory Poor **Federal Pacific Panel Stab Lok® (See remarks page)***
Predominant BRANCH WIRE: Copper **Aluminum*** Copper clad aluminum Not visible
Condition: Satisfactory Poor **Recommend electrician evaluate/repair***
 Romex BX cable Conduit **Knob & tube****
 Read **REMARKS** addendum to report- "tripping breakers"

MAIN PANEL Location: **2nd Floor apartment hallway** **Condition:** Satisfactory Several Spares
Adequate Clearance To Panel: Yes No Amperage: **100** Volts 120/240 Breakers Fuses
Appears Grounded: Yes No Not visible
G.F.C.I. present: Yes No **Operative:** Yes No
A.F.C.I. present: Yes No **Operative:** Yes No
MAIN WIRE: Copper Aluminum Copper clad aluminum Tin clad copper Not visible
Condition: Satisfactory Poor **Federal Pacific Panel Stab Lok® (See remarks page)***
Predominant BRANCH WIRE: Copper **Aluminum*** Copper clad aluminum Not visible
Condition: Satisfactory Poor **Recommend electrician evaluate/repair***
 Romex BX cable Conduit **Knob & tube****
 Read **REMARKS** addendum to report- "tripping breakers"

SUB PANEL(S) None apparent Breakers Fuses

ELECTRICAL FIXTURES

A representative number of installed lighting fixtures, switches, and receptacles located inside the house, garage, and exterior walls were tested and found to be:

Condition: Satisfactory Marginal Poor Not accessible, clutter, furniture
 Open grounds Reverse polarity
 Wall outlets or switches wall openings cut too large- covers had gaps around devices
 GFCIs recommended in kitchen, main bath and ½ bath and where potentially wet or damp
 Recommend tamper resistant outlets in apartment and store
 Loose, missing covers Scorched outlet- in store
 Bedroom #2 center- was locked and inaccessible
 Too few circuits in apartment & too few outlets
 Recommend discussing electrical needs with electrician for business needs (ex- dedicated circuits for heavy drawl appliances, USB ports, Multi outlets (4 gang or more where needed)
 Obtain closed permits to see if knob & tube wiring was removed in building. There were some plaster walls (closet, etc.) that may have hidden knob & tube 1920's wiring
 Recommend electrician evaluate/repair*

Continued . .

GENERAL COMMENTS

ELECTRICAL: This building had two main panels; one for the store (200A) and one for the apartment (100A). The store panel had no spares inside and several twins added to take up half the space and allow for two circuits in the space of a regular size breaker. The apartment had too few breakers in use and several spares available. Tripping breakers can often occur when too many devices on one circuit and potential to overload. Separating devices and adding more circuit breakers should be done especially when installing GFCI in bathrooms for hair dryers or blow dryers. Each family and business has different electrical requirements or needs. Recommend reviewing all electrical needs current and near future requirements. There were no outlets in bathrooms and no GFCI outlets in kitchen on 2nd floor. There were surface mounted outlets that protrude and take up space or not ideal. The building was ~120 yrs. old, plaster walls visible on second floor and potential for concealed knob & tube 1920's wiring. If this wiring exists, recommend upgrading to newer wiring with a ground. There was a scorched outlet in the store; indicative of overload (fire hazard). It is always best when recessing outlets, switches, ceiling lighting, etc. when possible and allow for more head room or flush with wall. GFCI tamper resistant outlets should be installed with upgrades especially when small children present or the public. Discuss other safety electrical features for the building with the electrician for example lighting over stairs and in bathrooms with auto sensed feature (on-auto-off), illuminated "Exit" signs with battery back-ups, hard wired Co & smoke detectors, etc. Also exit doors should be equipped with self-closure hinges for extra fire safety measures; check with the local rules and ordinances for all requirements and added safety measures. If the boro has had extended power outages in the past with the everychanging weather, hurricanes, high winds, etc., consider a generator back up for the business and or apartment. Every business has it particular needs for lighting (functional & mood or ddecor), equipment, modems & communications, power packs/batteries, etc. Discuss electrical outlets (duplex, quads or 6+ recepticles), USB ports, charging stations (battery power packs), etc. and locations. Both the store and apartment need upgrades; loose outlets, missing covers, too few, loose cables/wires (attic), handyman installations, scorched outlet (store), etc. Scorched outlets are often indicative of an overloaded circuit and often can occur when portable heaters are used (See heating section comments). There was one heat register visible in the store front room; inadequate. Recommend a licensed residential & commercial electrician evaluate & advise on all electrical safety, needs and business requirements. The electrical service entry should have putty replaced to maintain water tight seals and avoid water entry into the electrical panel. Do not use extension cords, multiplier adapters or power strips to add more power; fire safety concern. If a breaker or circuit is tripped more than once, it is recommended to have an electrician evaluate circuits and have items separated by a licensed electrician. Items such a sump pumps, A/C units, stoves refrigerators or other heavy draw appliances should be on separate dedicated circuits.

CONCERNS:

- 1. Recommend a licensed residential & commercial electrician evaluate & advise on all electrical safety, needs and business requirements.**